

*The  
Lake at*  
HERITAGE  
POINTE



Phase 7  
Architectural Design  
Guidelines

September 2005



CO-10037



Architectural Design  
&  
Landscape Guidelines

Phase 7

**THE LAKE AT HERITAGE POINTE  
ARCHITECTURAL GUIDELINES – PHASE 7**

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# THE LAKE AT HERITAGE POINTE

## ARCHITECTURAL GUIDELINES – PHASE 7

### 1.0 INTRODUCTION

Heritage Pointe is a master planned residential community located just minutes south of Calgary in the Municipal District of Foothills No. 31. The first stage of this multi-phased project, now complete, is comprised of one hundred and sixty-four (164) homesites integrated around, and within, a 10,500 yard 27-hole signature golf course.

Stage two, The Lake at Heritage Pointe (The Lake) will see the development of a lifestyle community comprising some 300 plus acres of land that will ultimately be home to approximately 500 families. Staged development will take place over a period of years. Plans include a 28-acre lake, 7 acres of lake amenity area, and extensive maintained and natural greenspace. A Village Center, to include a convenience store, specialty shops, commercial and professional space, and other community services is scheduled for future development.

Heritage Pointe Lake Developments Ltd. (the Developer) is a joint venture between Upper Lakes Group Inc., the owner and developer of Heritage Pointe, and Intergulf Cidex Development Corp.

### 2.0 VISION

Our vision for The Lake at Heritage Pointe is to create a community that satisfies the demand for a unique high quality living environment that offers extensive amenities, convenient retail and services, strict architectural controls, excellent freeway access and enduring value. Careful integration of the residential land uses with the lake, the lake amenities and the natural ravines ensures that these components create a unique identity for The Lake rather than separate parcels of unrelated development.

The quality of the development is ensured through the implementation of The Lake at Heritage Pointe Architectural Design and

Landscape Guidelines, (the “Guidelines”), which set forth certain architectural and landscape elements which are required for each homesite. These guidelines will protect not only the integrity of the development but also the purchasers’ investment in the community. The guidelines have been prepared to promote a high level of architectural detail, ensure pleasing building form, offer attractive landscapes and to site buildings to take advantage of views and amenities.

### 3.0 APPROVAL PROCESS

A representative (the “Representative”) will examine each proposed residential structure to ensure compliance with the guidelines. A “*Reviewed and Accepted*” stamp will be required prior to the owner/builder (the Applicant) applying for a building permit from the Municipal District of Foothills No. 31. After construction is complete, the Representative will inspect the completed home to ensure compliance with the “*Reviewed and Accepted*” plans.

All applications for architectural approval are to be accompanied by the required and completed forms. Applications will not be processed until all required information is received.

### 3.1 BUILDING GRADE AND MARKETING PLANS

The Representative will supply the Applicant with an electronic copy of the grade plan and a marketing plan via archcontrol.com which will contain, among other information, the following:

- Lot grades
- Easements and/or rights-of-way
- Construction setback line from top of bank (if applicable)
- Garage location
- Utility infrastructure

All designs are to conform to the Grade Plan prepared by BEL MK Engineering Ltd. Some grade adjustments may be made by the Representatives to accommodate certain design elements and/or site conditions.

### **3.2 REVIEW AND APPROVAL PROCESS**

The Applicant is to communicate with the Representative to review the initial proposal for the type of house being contemplated. This will initiate discussions between the two parties at an early stage in the design process and will allow the Representative to relay grading and design considerations that are particular to the site, to pin-point grading and design concerns at an early stage and to streamline the final review process.

Prior to the submission for a building permit, the Municipal District of Foothills No. 31 will require a *"Reviewed and Accepted"* stamp from the Representative certifying compliance with the Architectural Design and Landscape Guidelines. Accordingly, the Applicant shall provide two (2) complete sets of house plans, site plan and any other supporting information for review by the Representative. Online applications are encouraged (see Appendix D). The cost of all plans and drawings required for the submission will be to the account of the Applicant. There is no cost for the review by the Representative for the first review and one subsequent modification. Should further reviews be required the cost of the reviews shall be borne by the Applicant.

<b>THE LAKE AT HERITAGE POINTE REVIEW AND APPROVAL PROCESS</b>	
<b>TASK</b>	<b>RESPONSIBILITY</b>
Prepare and submit preliminary design and completed application	Applicant (Builder)
Preliminary plan review by the Representative and comments back to the Applicant	Representative (IBI)
Complete detailed design incorporating revisions	Applicant (Builder)
Submit site plan and architectural plan to the Representative for final review and approval	Applicant (Builder)
Approved plan receives " <i>Reviewed and Accepted</i> " Stamp	Representative (IBI)
Issue Grade Slip	Representative (IBI)
Building Permit Application to Municipal District of Foothills No. 31 c/w Copy of Site Plan and Grade Slip	Applicant (Builder)
Issue Building Permit	Municipal District of Foothills No.31
Footing Check by Surveyor	Applicant (Builder)
Final Inspection by the Representative – identify deficiencies	Representative (IBI)
Resolve deficiencies	Applicant (Builder)
As built grade confirmed by Survey	Applicant (Builder)
Final Acceptance Notice	Representative (IBI)
Occupancy	
Submit Landscape Plan	Applicant (Homeowner)
Preliminary Review	Representative (Boyes)
Complete detailed design incorporating revisions	Applicant (Homeowner)
Approved plan receives "Accepted/Approved with Revisions" stamp	Representative (Boyes)
Inspection of completed work – identify deficiencies	Representative (Boyes)
Deficiencies resolved	Applicant (Homeowner)

<sup>1</sup> Site plans must be 1:200 scale

### 3.3 COMPLIANCE FEES

To ensure that the Architectural Design guidelines are strictly adhered to, a compliance fee is required to be paid to Heritage Pointe Lake Developments Ltd. The amount of the compliance fee is set forth in the Agreement of Purchase and Sale.

### 4.0 ZONING REGULATIONS

Development and construction of The Lake is governed by the Land Use Bylaw established by the Municipal District of Foothills No. 31 (the M.D.), and by the Lake at Heritage Pointe Architectural Design Guidelines. A review of house plans for compliance will be completed by the Representative and a "Reviewed and Accepted" stamp issued prior to the purchaser submitting a building permit application to the M.D. All construction must comply with the current Land Use Bylaw and the Alberta Building Code. Construction may only begin upon receipt of a Building Permit from the M.D. and a Grade Slip from the Representative. Conformity with the Guidelines does not supersede the required M.D. approval process.

#### 4.1 ACCESSORY BUILDINGS

Permitted use on each homesite is restricted to one dwelling. No accessory buildings of any kind will be permitted.

#### 4.2 TYPICAL FOOTPRINT ENVELOPE

To ensure a consistency of building location from homesite to homesite, the concept of a *Footprint Envelope* has been developed. All improvements on each homesite must be designed within this *Footprint Envelope* as illustrated including the main structure, the garage, porches, enclosed or covered patios, decks, terraces and eaves.

Each home shall be sited within the *Footprint Envelope* to take maximum advantage of the natural characteristics of the homesite (i.e., view potential, slope, sun angle, etc.). Siting should also take into consideration privacy of exterior areas, siting of adjacent homes to minimize overview and shadowing, and a variety of wall lines to reduce a continuous wall effect from house to house. Where side drive garages are built, the side wall of the

garage may be located on the front set back line of the *Footprint Envelope*. Where side drive garages are built next to each other the Applicant must allow for an adequate vehicle turning radius from the side yard property line to the face of the garage.

The *Footprint Envelope* will change slightly amongst the different lot types (below) in order to maximize use of the lots while maintaining the intended streetscape.

#### Heritage Lake Mews Lots

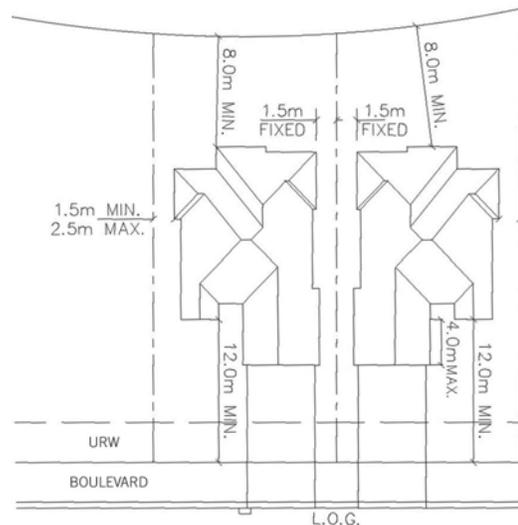
(Block 27 & 28 inclusive – mandatory front drive garages)

**Front Setback** – 12.0 m minimum to front of house or covered porch.

**Note:** Maximum dimension allowed between the front of the house or covered porch to the face of a front drive garage is 4.0 m or 12.0 feet.

**Rear Setback** – 8.0 m (house foundation may not encroach)

**Side Setbacks** – 1.5 on garage side of home (fixed). 1.5 – 2.5 on non-garage side of home.



#### Heritage Lake Boulevard Lots

(Block 28 – Optional front drive / side drive garages)

**Front Setback** – 12.0 m minimum to front of house or covered porch.

**Note:** Maximum dimension allowed between the front of the house or covered porch to the

face of a front drive garage is 4.0 m or 12.0 feet.

**Rear Setbacks** – 8.0 m (house foundation may not encroach).

**Side Setbacks** – 1.5 m on garage side of home (fixed). 2.5 – 3.0 m on non garage side of home.

**Inner Isle Lots**  
(Block 25 inclusive)

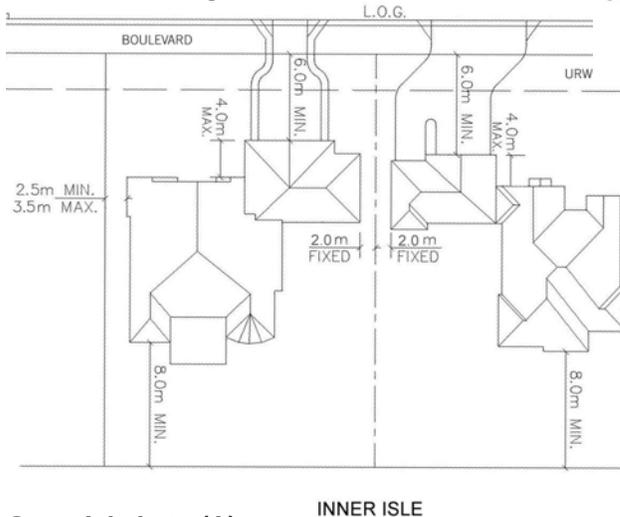
**Front Setback** – 6.0 m house/garage may not encroach.

**Note:** Maximum dimension allowed between the front of the house or covered porch to the face of a front drive garage is 4.0 m or 12.0 feet.

**Rear Setbacks** – 8.0 m (house foundation may not encroach).

**Side Setbacks** – 2.0 m on garage side of home (fixed). 2.5 – 3.0 m on non garage side of home.

**Side Drive Garage Setback – 5.0 m**



**Outer Isle Lots (A)**  
(Lots 1-27, 33-47, 52-64; Block 24)

**Front Setback** – 15.0 m to front of house or covered porch.

**Side Drive Garage Setback – 6.0 m**

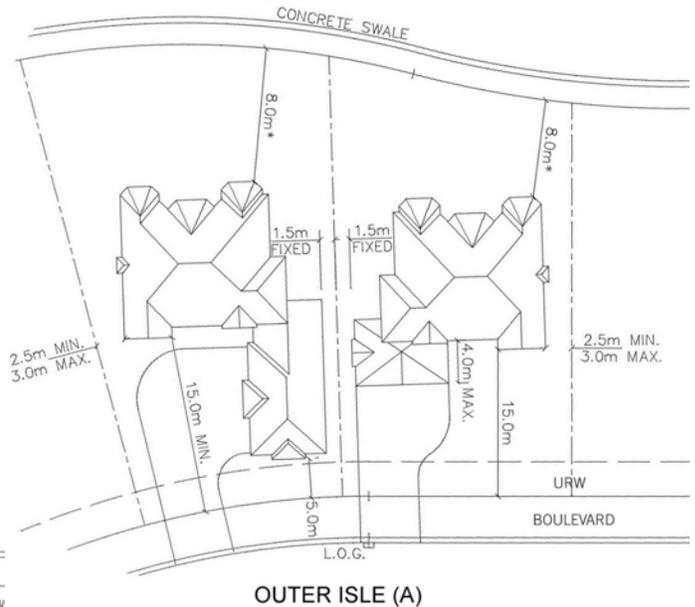
**Note:** Maximum dimension allowed between the front of the house or covered porch to the

face of a front drive garage is 4.0 m or 12.0 feet.

**Rear Setbacks** – 8.0 m (house foundation may not encroach). Proposed building setback lines (see marketing plan) will take precedence over 8.0 m minimum.

**Side Setbacks** - 1.5 m on garage side of home (fixed). 2.5 – 3.0 m on non-garage side of home.

**Side Drive Garage Setbacks - 5.0 m**



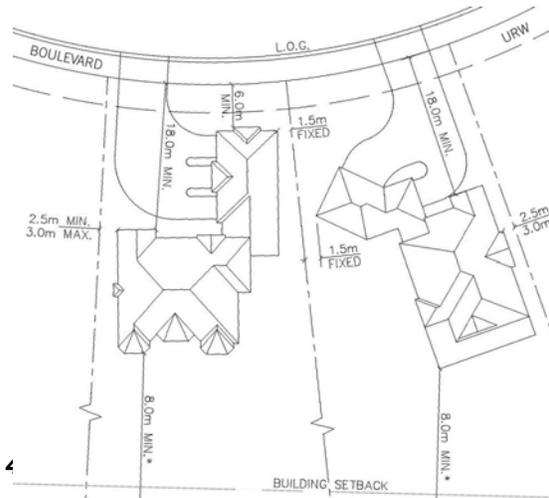
**Outer Isle (B)**  
(Lots 28-32, 48-51; Block 24)

**Front Setback** – 18.0 m to front of house or covered porch.

**Note:** Maximum dimension allowed between the front of the house or covered porch to the face of a front drive garage is 4.0 m or 12.0 feet.

**Rear Setback** – 10.0 m (house foundation may not encroach). Proposed building setback lines (see marketing plan) will take precedence over 8.0 m minimum.

**Side Setbacks** - 1.5 m on garage side of home (fixed). 2.5 – 3.0 m on non-garage side of home.



The minimum permitted floor area for each homesite, excluding garage and undeveloped basement is as follows:

**Cul de Sac Lots - Blocks 27 & 28**

- Bungalow 1,450 square feet (135 m<sup>2</sup>),
- Two-storey 2,200 square feet (205 m<sup>2</sup>) with a minimum 1,200 square feet (112 m<sup>2</sup>) on the main floor level.

**Inner Isle Lots - Blocks 25**

- Bungalow or 1 ½ Storey Plans only - 1,650 square feet (153 m<sup>2</sup>) on the main level.

Note: If a 1-½ storey design is used, the upper level may be no more than 30% of the overall square footage.

**Outer Isle Lots - Block 24**

- Bungalow 1750 square feet (163 m<sup>2</sup>),
- Two-storey 2400 square feet (223 m<sup>2</sup>) with a minimum of 1400 square feet (130 m<sup>2</sup>) on the main floor level.

**4.4 BUILDING HEIGHT**

Buildings on each homesite shall not exceed a maximum height of 12 metres.

**4.5 PARKING**

A minimum of two (2) parking spaces are required for each homesite to be enclosed within the garage. Capacity for one (1) additional parking space on the driveway is required for visitors.

**5.0 ARCHITECTURAL GUIDELINES**

**5.1 ARCHITECTURAL THEME**

The general architectural theme for The Lake has been established by utilizing the prevailing architectural form, style, and detailing of the homes developed in the golf course phase. In addition, the developer is encouraging the more traditional styles of French Country, English Country, Tudor, Georgian and Craftsman homes. The predominant characteristics of each home are high-pitched roofs with second storey set backs and dormers. Many lots will offer the opportunity for side drive garages. The design of the homes should contain enough variety to create interest while at the same time achieving a balanced harmony of forms, colours and themes. Other styles of homes may be considered with preliminary review.



### Typical Design Elements:

- A variety of wall lines and roof lines
- High level of detailing on all elevations
- Steep roof pitches
- Extensive use of stone or brick
- Garage & garage door detailing
- A high level of Architectural detailing on doors and windows.
- High quality exterior finishes
- Driveway detailing

**The Developer and the Representative reserve the right to accept home designs which, in the opinion of the Representative, meet the Guidelines set out herein in all respects, if, in the opinion of the Representative, the design is acceptable. Furthermore, the Developer and the Representative reserve the right to alter or make amendments to the Architectural Guidelines at anytime without notice.**



### 5.2 MASSING

Special attention must be given to the exterior side elevations of homes located on corner lots.

Adjacent homes should have a consistency of apparent volume. A two-storey home adjacent to a bungalow will require special design review to ensure an appropriate transition of massing.

The minimum roof pitch allowed is 7:12 except for bungalows where a minimum roof pitch of 9:12 is required. The intent is to provide an overall site composition of sloped roofs while allowing for an expression of uniqueness for individual residences and the internal functions of each house.

Modified roof pitches may be considered for bungalows, on the merits of the building plan, elevation and relationship to adjacent home designs, provided all other architectural requirements are met or exceeded.

For plans with a front facing garage, the impact of the front facing door(s) is to be reduced. This can be accomplished by a second storey element over the garage door(s), by setting the garage flush with or back from the front of the house and by increasing the level of Architectural detailing on the garage doors.

Three storey uninterrupted vertical elevations will NOT be accepted under any circumstances. Long blank walls as may be found on triple garages must be detailed with windows, architectural trim to reduce the impression of length and height and by stepping the structure.

### 5.3 LOT GRADING

Lot grading is to follow the natural slope of the land form and is to be consistent with the subdivision grading plan. Builder's should give due consideration to building grades when determining house types in order to assure that an appropriate house is located on each homesite (i.e., a tall house is not placed on a high elevation homesite and a front-to-back split is placed on a site sloping towards the rear of the homesite). Lot slopes should be absorbed within the building massing as much as possible (i.e., stepped foundations and floor levels to minimize the need for grades steeper than 3:1. Builders must also give close attention to drainage patterns created on the homesites in order to ensure surface water is channelled away from the house on all sides and into adjacent drainage swales and storm water systems.

Builders must ensure that all of the corner and quarter point elevations and survey pins of each homesite, as established by the development engineer, be maintained exactly as specified. Damaged survey pins **MUST** be replaced immediately by the Applicant at the Applicant's expense.

Builders are responsible for maintaining the design grades at the homesite corners, property lines, house corners and garage slabs. **Top of footing elevations MUST BE surveyed by a qualified surveyor. Confirmation of this information must be provided in written form to the Representative immediately following the survey.**

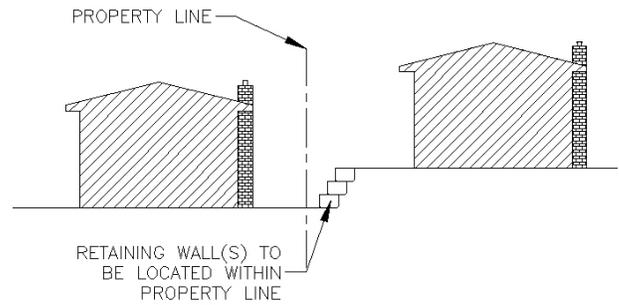
The lot grades create a drainage pattern as indicated on the 'grade plan' and must be maintained. Site drainage must be established prior to commencing construction and maintained by the builder throughout the construction period. **An as-built grading certificate MUST be provided by a qualified surveyor to the Representative after final grading and placement of topsoil is completed by the builder/owner.**

Individual lot grading (including drainage swales and retaining walls) must be completed within individual homesite property lines. The Developer may install sedimentation and erosion control devices at the rear or side of any lot and at catch basins or any other area where the need for a control device exists. The builder/owner **MUST** maintain these devices until such time as the owner's landscaping is completed and an inspection certificate has been issued by the Developer's Landscape Consultant. Owner's and builders **MUST NOT** remove any control device from common areas or roads.

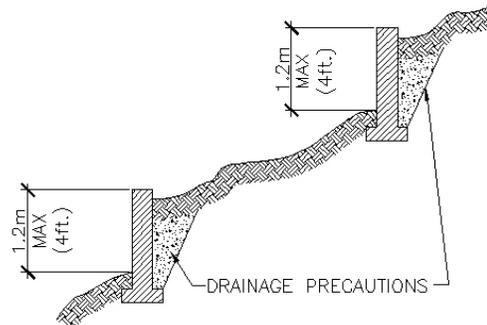
#### 5.4 RETAINING WALLS

Where retaining walls are required in the front yard or front driveway area, they are to be constructed using natural stone, brick, manufactured stone or concrete products.

Retaining Walls must be built in accordance with the final grade slip specifications.



Retaining walls will be limited to a height of 3.28 feet (1.00 meters) unless it can be proven that a higher wall is necessary. If so, a stepped form shall be used to reduce the wall's visual mass as illustrated. All retaining structures are to be built and contained within property lines. Any retaining wall exceeding 1.0 meters in height **MUST** be approved by a professional engineer. Written evidence of such approval **MUST** be provided to the Representative.



#### 5.5 SUMPS AND WEeping TILE

All homes must have weeping tile and sumps, which shall be tied into the storm water control system.

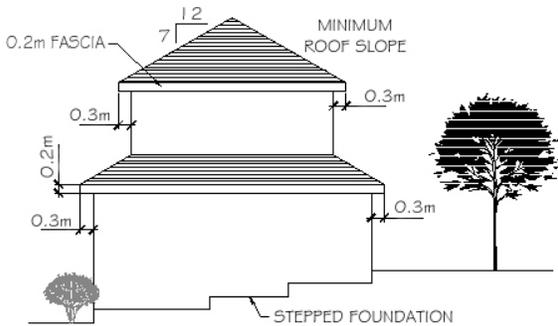
#### 5.6 ROOF MATERIALS

The roof material for all homes is to be shakes, slate or premium asphalt shingles (pre-approved by the Representative). Earth tone clay or concrete tiles to be either slate or shake profile. All roof stacks are to be enclosed and/or finished to compliment roof colour and exterior finish detail. Flashing must be pre-finished to blend in with the roof.

Rain water leaders, and soffits shall match or compliment the approved trim colour.

### 5.7 SOFFITS AND FASCIAS

It is required that overhangs have a minimum 12" soffit and 8" (nominal) fascia.

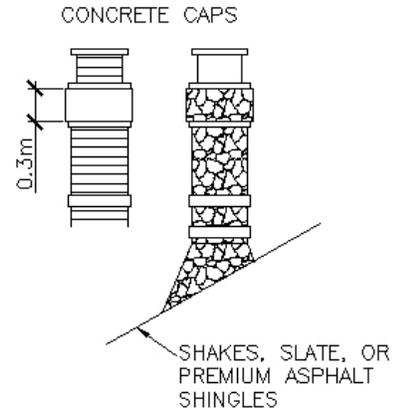


Eavestrough colours are to match the fascia colour. Pre-finished aluminum fascia will be allowed. Care should be taken to ensure that the fascia doesn't "oil can".

### 5.8 CHIMNEYS

If used, chimneys are to be brick or stone. Vinyl, concrete block or jumbo brick chimneys are not acceptable. Modifications may be considered based on the merits of the overall plan. Stucco chimneys may be considered.

All chimneys are to incorporate corbelled detailing (Queen Anne Style). Masonry chimneys must include rain caps and the masonry chimney finish must match any accent veneers.



### 5.9 EXTERIOR FINISHES

Consistency in detailing and design from the front elevation of the home to the side and rear elevations is very important. Allowable materials include brick, stucco, or prefinished hardboard. Fascia boards and trim are required in complementary colours.

Note: For purposes of measurement, the vertical surface is the portion of the garage facing the street, the side of the garage adjacent to the front elevation and the face of the house. The area also includes gable ends in the roof on the face of the house. If the home is located on a corner lot, ER or MR, the side face of the home is also included. Homes finished in stucco or pre-finished hardboard must have a minimum of 30% of the front elevation covered in brick or stone (30% of the vertical surface excluding windows and doors). The overall merits of the design will be taken into consideration with respect to the total area of the front elevation finished in brick or stone. All street fronting elevations and exposed side elevations on corner lots shall have at least 30% of their vertical surface area covered in brick or stone.

When shadow boards or dentil mouldings are used, they MUST be incorporated on all elevations. Battens around doors and windows may be pre-finished Chemcrest or equivalent, or painted Smart Board or equivalent. Where stone tile is used in lieu of stone or brick as the predominant accent

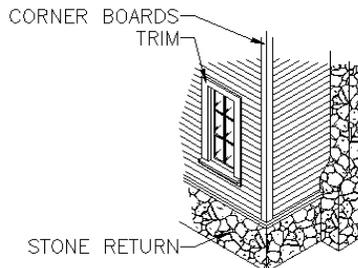
material, windows MUST be finished (bordered) using stone tile or similar materials.

Accent brick or stone must turn the corner at least 3 feet (900 mm). Brick or stone is encouraged along the base of the front elevation as an architectural detail where the design theme warrants.

Brick, or stone is to be quiet and even-toned. There is to be no “new-used” brick or multi-coloured stone. All brick is to be standard or metric size with grey mortar. No jumbo or giant brick will be allowed. Types and colours may be changed by the Representative without notice.

The rear elevations of all homes MUST be given the same level of detail as the front elevation, i.e., deck columns MUST have stone or brick; gables MUST have shadow boards; battens used to break up floor levels MUST extend around the side and rear elevations. Corner lots will be considered on an individual basis.

The level of detail on any given elevation is left to the discretion of the Representative depending on lot location, visibility, style of home and overall level of detail.



### 5.9.1 Utility Meters & Air Conditioning Units

Utility meters and air conditioning units are to be located to minimize the visual impact of the equipment from the street and adjacent home and in the case of air conditioning units located in such a manner as to minimize the noise impacts on adjacent residents.

### 5.9.2 Stucco and Siding

Stucco colours are to be natural earth tones and finished with a fine sand float or smooth finish. Conventional knockdown stucco will not be accepted under any circumstance. Unacceptable colours are to be determined by the Architectural Consultant at his/her discretion. Brick, stone and wood elements are encouraged as accent materials.

Where stucco is used as an exterior finish, horizontal control joints must be installed at the transition between floors to absorb shrinkage and movement of the building. These joints should be articulated by the use of reveals or trim boards. Vertical control joints should conform to the Specification Standards Manual of the Wall and Ceiling Industry.

James Hardie Siding (or approved equal) will also be accepted as an alternative to stucco.

### 5.9.3 Windows

Window design and placement is very important to the overall appearance of the house and neighbourhood. Window styles and shapes are to be consistent on all four elevations. Windows are to be oriented vertically i.e., taller than they are wide. Large picture windows should be flanked by narrower vertical windows. Awning or casement windows, not sliding windows, are to be used in homes on the lake and upper pond.

All metal clad, wood or vinyl windows must have a minimum 3 ½” brick mould. If a 3 ½” brick mold is not used, batten boards, acrylic stucco battens, stone tile, shutters and/or similar window treatments must be used to help define the window. In all cases, when white window frames are utilized and where muntin bars are used between windowpanes, the bars must also be white. The bar width must be a minimum of ½” in width. Where the exterior window frame colour cannot be matched unless a narrower bar is used, a ¼” bar may be utilized. Alternatively, a ½” or 5/8” interior surface mounted and painted wood muntin bar may be used to match exterior window frame colours and interior colour schemes. Brass bars are not acceptable.

“Pewter” or dark charcoal bars are an acceptable alternative when matching colours are not available.

The use of simulated divided light windows is encouraged to add architectural integrity, particularly with period home designs.

#### **5.9.4 Arched Elements**

Arched elements i.e., windows, doors and dormers are encouraged as detail on all front and rear elevations.

#### **5.9.5 Front Doors**

Front doors are encouraged to be relief panel doors of solid construction, with a door light panel feature including wood with detailed glazing or side lights and arched elements.

#### **5.9.6 Exterior Lighting**

Exterior lighting should comprise a minimum of three (3) lights per house; one on either side of the garage doors, and one on the wall by the front door or in the roof overhang at the front door. Lighting fixtures to the same character and level of detail as the building façade are encouraged. Soffit lights are also acceptable.

#### **5.9.7 Roof Vents, Stacks, Direct Vent Fireplaces and Flashing**

Roof vents and stacks should be inconspicuous; they must be boxed in, detailed and finished in conjunction with the exterior of the home. Roof flashing must be prefinished to blend with the roof.

#### **5.9.8 Exterior Decks**

Handrails on exterior decks are to be prefinished aluminium or metal construction.

Supporting columns for decks and porches are to be architecturally detailed. Columns must have a minimum dimension of 12” and must be finished in brick or stone.

Decks, unless covered by a roof structure, will be allowed to extend outside of the building envelope.

#### **5.9.9 Exposed Elevations**

All elevations must have some detailing, regardless of exposure. Elevations that are visible from a road, park, pathway, ravine or are to have extensive detailing. Side and rear elevations on corner lots are to be treated to the same extent as the front elevation. All homes on the inner isle lots must have extensive detailing to match the front elevation theme.

Homes located in the Middle Isle (Block 25) will require extremely strong rear elevations. Builders are required to submit preliminary drawings to the Representative, so that designs can be final when they are submitted for grade slip release. See Rear Elevation Checklist (Appendix G).

#### **5.10 COLOURS**

The Representative must approve all exterior colour schemes. House colour schemes must not be repetitious with adjacent homes.

#### **Three colour schemes are acceptable:**

- Natural low contrast – natural coloured wood stain (solid or semi-transparent) with blending trim colour.
- Natural high contrast – natural coloured wood stain (solid or semi-transparent) with contrasting trim colour.
- “Heritage” colours – Heritage colours with contrasting trim and shutters on traditional house designs.

#### **5.11 DRIVEWAYS AND GARAGES**

Driveways and the front walkways are to be carefully considered in conjunction with the architectural look and feel of the home.

All houses are to have at a minimum, a double garage and the driveway layout must provide for at least one (1) additional car parked on site.

Driveways must be offset a minimum of 0.5 m away from the side property line to ensure that the drainage patterns are maintained.

Garage doors are to be painted or stained to compliment the exterior walls. Garage doors must have automated closers. Garage doors must be carriage style doors. NO EXCEPTIONS.

The garage must be offset by a minimum of 18" from the house to provide relief to the long sidewall elevation. Architectural detailing of the garage wall facing the side property line may be relaxed if visibility of this wall is minimal.

Driveways, at the face of the garage, must be the same width as the garage. Sidewalks must be poured at the same time and be integrated with the driveway. Designers should use innovative driveway and sidewalk layouts to enhance the overall streetscape.

Broom finish concrete driveways without some detailing will NOT be approved. Broom finish driveways must be detailed with borders or inset patterns utilizing exposed aggregate, patterned concrete or pavers. There will be no exceptions. Plans submitted for architectural approval must have driveway detailing. If not provided, the plan will be returned to the Applicant.

The following details for driveways are minimum requirements and alternatives:

- Builder is responsible to construct the driveway to back of curb. Where an asphalt pathway intersects a driveway, the asphalt must be removed and finished in the same material as the driveway.
- No asphalt driveways.
- Total exposed aggregate driveway (aggregate must be sealed).
- Plain or exposed aggregate with reversed border.
- Where borders are used they are to be a minimum of 18 (eighteen) inches in width.
- Plain or exposed aggregate driveway with inlaid pavers in a patterned style.
- Stamped concrete.

The Builder will:

- If required, remove the section of asphalt pathway for driveway installation.
- Install a concrete driveway to the back of curb, maintaining the original grade and slope of the pathway.
- Repair and restore the asphalt pathway to ensure a smooth transition between the sod, driveway and pathway. Repair any damaged irrigation pipes that are located between back of curb and 18" from back of curb.

The Developer will:

- Provide trees in the boulevard in accordance with the Developer's landscape plan.
- The Developer will determine in its sole discretion the number of trees to be planted and the planting pattern.

The Home Owner will:

- Loam, sod and maintain the boulevard in the front and along the side yard area.



BOULEVARD/PATHWAY  
PLANTING PLAN EXAMPLE



### 5.12 REPETITION

House designs with approximately identical house elevations may not be repeated more often than every fifth (5th) home.

To be different means that there is a significant change in features such as roof type, size and location of windows and doors, colours and finish materials. A change of materials alone and reversing the plan is not sufficient.

Colours may not be repeated more often than every 3 homes on either side of the road.

### 5.13 PRE-DESIGNED STREETSCAPE

IBI Group has prepared a pre-designed streetscape for the Inner Isle (Block 25). Builders are required to create designs that match the proposed front elevations and site layouts as closely as possible (See Appendix G). The intent is to maximize the potential of these wide, shallow lots. Elevations may not be repeated more often than every fourth home and each similar elevation must have different colour schemes.

These homes will be submitted for preliminary review before a final submission is made.

### 6.0 STREETSCAPE

The streetscape for The Lake at Heritage Pointe has been planned with the following objectives in mind:

- To prevent fast moving traffic by constructing minimal carriageway widths, curvilinear roads and cul-de-sac roadways.
- To provide accessible, open spaces with generous landscaped areas for both passive and active recreation.
- To provide streetlights and street trees to enhance the character and ambience of the community.
- To provide an attractive residential streetscape through the provision of front yard landscape features which compliment the architectural elements of the front facades.

- To encourage open views to the valley ravines from the rear yards of homesites.
- To maintain an element of privacy between adjacent rear yards.

### 6.1 LANDSCAPE GUIDELINES

The implementation of the landscape guidelines will ensure the quality and experience of the streetscape carries into each individual homesites and a gradual landscape transition occurs from each home to the valleys, escarpments and environmental reserves.

A Landscape Plan must be submitted for approval for the entire homesite area and boulevard and shall be designed to enhance individual homes and to unify the streetscape.

#### 6.1.1 Plan Approval Process

The Homeowner is required to submit 3 copies of a proposed landscape plan (with contact information) to the administration office of Heritage Pointe Lake Developments, located in the Heritage Pointe Golf Clubhouse, #1 – Heritage Pointe Drive, RR1 DeWinton, Alberta T0L 0X0 (403) 254-5253).

Please note the following requirements to be included on the landscape plan;

- A plan drawn to a metric scale of 1:200, using a copy of the real property survey report or a site plan. Property lines, boulevard/curb area, utility locations, easements and outlines of existing and adjacent buildings also should be indicated.
- Identify the location and size of all proposed trees. The landscape guidelines require a minimum of two (2) trees in the front yard and two (2) trees in the rear yard. Note: Boulevard area trees planted by the developer are not considered part of this requirement.
- Indicate the outline of planting beds, groundcover and edging material, sodded areas and fencing/gate locations.
- Accessory structural details indicating site location, material proposed and overall height (ex. a dog run, retaining wall, pergola,

swimming pool, arbour, privacy screen, fire pit, etc.)

Please note, depending on the specific Subdivision Phase, additional or alternative landscape requirements may apply. It is recommended the Phase specific guidelines be reviewed during the landscape planning stage to determine if additional requirements are necessary (transition into natural areas, shoreline and building setbacks, areas, etc.).

Upon submission of the landscape plan, the drawing will be reviewed by the developers Landscape Consultant. If the plan does not meet the guidelines or more information is necessary, the homeowner will be required to submit further details. When plan guidelines have been met, the plan will be stamped for approval and returned by mail.

The homeowner is responsible to complete the landscape in accordance with the approved plan.

A landscape completion inspection will be conducted towards the end of the landscaping season. If the landscaping requirements have not been met, a letter will be issued to the homeowner requesting the deficiencies be completed.

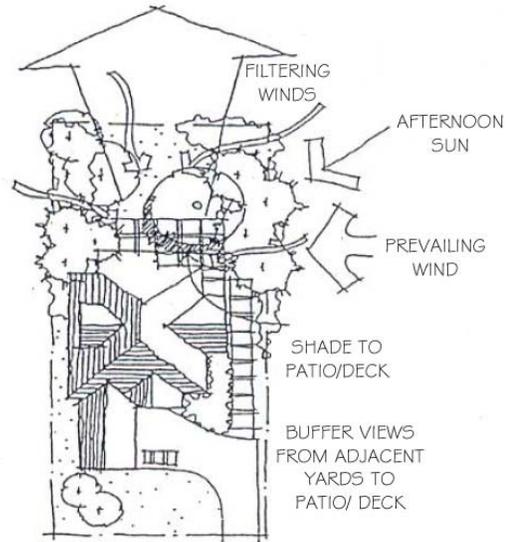
Landscape installation and maintenance is the responsibility of the homeowner. The level of maintenance must be in keeping with standards typically experienced in high quality residential communities.

The homeowner is also responsible for the watering and maintenance of any boulevard street tree(s) planted adjacent to the property. I.e. corner lots (but not common property/ boulevards adjacent to common property).

The acceptance of the landscape plan will also be determined by its success in achieving the following objectives:

- Framing of views into the valleys, ravines and amenity areas.
- Screening of adjacent private areas.
- Filtering of wind, rain and snow into the homesite.
- Framing of architectural elements related to the house façade.

The Representative's Landscape Consultant will inspect the Applicant's landscaping and will either approve the completed work or identify any deficiencies which the Applicant MUST rectify.



Following are the minimal landscaping requirements for each homesite.

### 6.1.2 Trees

Provide at least two of the following in the front yard and rear yard where space permits:

**Deciduous Trees** (50-100mm Caliper)  
(2" – 4" Caliper)

- Cutleaf Weeping Birch – *Betula pendula* 'Lacinata'
- Green Ash – *Fraxinus pennsylvanica*
- Black Ash – *Fraxinus nigra*
- American Elm – *Ulmus americana*
- Paper Birch – *Betula papyrifera*
- Laurel Leaf Willow – *Salix pentandra*
- Golden Willow – *Salix alba* 'Vitellina'

### Flowering Deciduous Trees

(50-100mm Caliper)  
(2" – 4" Caliper)

- May Day – *Prunus padus commutata*
- Schubert Chokecherry – *Prunus virginiana* 'Schubert'
- Siberian Flowering Crabapple – *Malus baccata*

American Mountain Ash – Sorbus Americana  
Hawthorn Species – Crataegus sp.

**Coniferous Trees** (2 – 2.5m Height)  
(6' – 8' Height)

Colorado Blue Spruce – Picea pungens 'Glauca'  
Colorado Green Spruce – Picea pungens  
White Spruce – Picea glauca  
Scots Pine – Pinus sylvestris  
Lodgepole Pine – Pinus contorta latifolia  
Douglas Fir – Pseudotsuga menziesii

### 6.1.3 Environmental Reserve

To promote a more natural landscape transition from the environmental reserve areas, home owners living adjacent to the reserve are encouraged to plant native species such as white spruce or native trembling aspen trees.

### 6.1.4 Sod

Install sod to all front, rear, side yards, and boulevards, extending the sod to the back of curb. Alternative plans for sod placement will be considered where a xeriscape landscape design is proposed or where side yard dimensions limit the opportunity to grow sod.

### 6.1.5 Landscape Completion

All landscaping must be completed within 1 year of the owner's possession date.

### 6.1.6 Irrigation

To promote water management, automatic irrigation systems are recommended for the entire planted area of the homesite. The applicant/owner is responsible for watering all boulevard areas where applicable.

Irrigation leaks could add significant water to the groundwater regime. Any measures taken by property owners to minimize an increase in groundwater reduces the likelihood of soil instability, particularly in locations where slope conditions exist. Therefore, it is recommended that subsurface irrigation systems be installed utilizing experienced installers and materials of a high standard, including rain sensors and automatic timers with battery back up. There is to be no irrigation or watering between the back

of lot and crest of slope. Refer to Section 6.0 of the Slope Setback report dated June 26, 2000 prepared by AGRA Earth and Environmental Limited. (Available from the Developer (403) 254-5253.)

## 6.2 FENCING

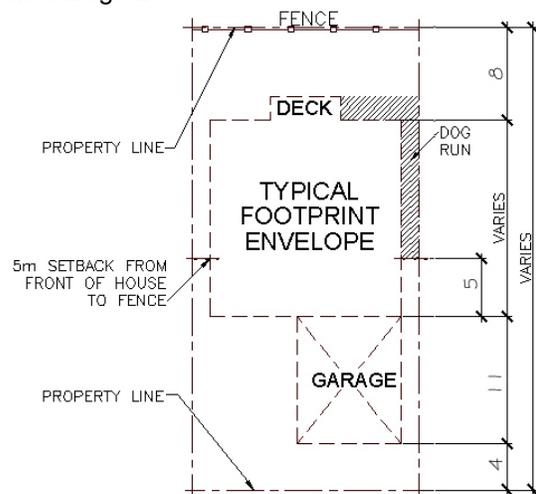
A fencing plan will be prepared by the developer on a phase by phase basis. Fencing and gates installed by the Developer may not be altered or removed under any circumstances. Alternative fencing specifications are not permitted.

### i) Fencing

Homeowners may install side yard fencing at the discretion and expense of the owner. Typical side yard fencing should terminate 5 meters behind the front foundation of the house (or 5 meters from the front of the garage). Site constraints may influence fence placement.

Black powder coated chain link fencing is permitted provided it is 4 ft. in height and matches the developer's fence specifications.

Fencing of the environmental reserve is not encouraged.



### ii) Dog Runs

Fencing for dog runs may be installed by the homeowner, provided it is a maximum of 1.2m (4 feet) in height and conforms to the developer's fencing specifications.

The fenced dog run area may not extend beyond the depth of the rear deck or 3 meters

from the house foundation, whichever is greater. Dog runs may extend into side yards. Dog houses or containment structures of any kind are not allowed. Dog runs and landscape screening must be shown on the Landscape Plans.

### **6.3 APPEARANCE DURING CONSTRUCTION**

Builders and Landscapers are required to keep the lots and abutting streets clean and orderly during construction and marketing. No material or debris shall be stored on an adjacent property, or disposed of on-site<sup>1</sup>. There will be no burning of garbage. Builders/Owners found negligent will be charged for clean-up carried out by the Developer.

### **6.4 ADDRESSING SIGNAGE**

The form and type of residential addressing shall be of a high quality. The Homeowner is responsible for the supply and installation of all addressing materials. Addressing should be illuminated to ensure visibility, safety and security.

### **7.0 MISCELLANEOUS GUIDELINES AND RESIDENT INFORMATION**

No dwelling shall be occupied by any person unless and until such dwelling, including the exterior thereof, is substantially completed.

No owner or occupier of any lot shall cause, commit, suffer, authorize or permit any act of nuisance.

No owner or occupier of any lot shall keep or permit to be kept animals of any kind or description whatsoever except for domesticated household pets, which pets shall not be permitted to run wild or uncontrolled within the development.

No storage or garden sheds, outdoor clothes-hanging devices, outdoor communication or satellite dishes (except for satellite dishes which have an overall diameter of 24 inches or less, and which are attached to the structure of the

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<sup>1</sup> Concrete suppliers may not clean chutes or dump excess concrete on site.

dwelling constructed on the lot) or aerials or similar devices shall be erected, placed or allowed to remain on any lot.

No other structure (whether permanent or movable) or chattels, including, without limitation, playhouses, gazebos and recreational equipment, shall be erected, placed or allowed to remain on any lot without the prior written approval of the developer.

All homeowners shall be members of the Lake at Heritage Pointe Owner's Association and shall be bound by the terms and conditions of such membership. Homeowners **MUST** familiarize themselves with the Owner's Association Bylaw and the Encumbrance Agreement registered against Title to the lot. If the lot has not been subdivided and registered, a copy of these agreements are available from your builder or the Developer.

Nothing herein contained shall be construed or implied as imposing on the Developer, its agents or employees, any liability in the event of non-compliance with or non-fulfillment of any of the terms, restrictions and benefits set forth herein and no liability or responsibility whatsoever shall be incurred by the Developer, its agents or employees, in the performance or non-performance of their rights and obligations herein.

### **7.1 RECREATION EQUIPMENT AND RECREATION AND COMMERCIAL VEHICLES**

Recreational vehicles and commercial vehicles shall not be parked or stored on site unless they are fully contained within a garage. Trailers, motor homes and boats may be stored for the purpose of loading and unloading but shall not be stored on any lot for more than 48 hours at any one time.

### **7.2 SATELLITE DISHES**

Satellite dishes are allowed provided the dish size does not exceed twenty-four (24") inches in diameter and the location of the dish is concealed to minimize visual impact. Notwithstanding the above, the Representative reserves the right to reject any installation if deemed inappropriate. In the event the homeowner paints the dish to conceal the

installation, the homeowner is responsible to maintain the dish to ensure the original appearance is maintained.

### **7.3 SIGNAGE**

No "For Sale" or "For Rent/Lease" signs shall be displayed in windows of the home.

Upon completion of building construction and/or landscape installation, all commercial signage shall be removed from the homeowner property.

No signage is allowed on community property and will be promptly removed.

### **7.4 WATER METERS**

The Applicant is responsible for the installation of a water meter. Installation requirements and policies are available from the Facilities Manager at Thornmark Utilities Corporation. Phone 254-9858. No water connection will be made until the Administration Office receives an application and a water meter has been installed. Phone 256-9192 for more information regarding utilities.

### **7.5 BREACH OF GUIDELINES**

In the event of any breach of any one or more of the above guidelines, terms and specifications, the Developer, or its agent shall have the right but shall not be obligated, to enter upon any lot and abate and cure at the expense of the homeowner of the lot who is in such breach, any such breach, capable of abatement or cure and such homeowner shall pay to the Developer forthwith upon demand all costs incurred by the Developer in such abatement or cure and such costs shall constitute a charge upon such homeowner's lot and may be collected by the Developer in a court of competent jurisdiction or deducted from the security deposit at the Developer's discretion.



## Appendix A

# APPROVED ROOF COLOURS

# THE LAKE AT HERITAGE POINTE

## APPROVED ROOF COLOURS

### Roof Colours

The roof material for all homes is to be shakes, slate or premium asphalt shingles (pre-approved by the Representative). Clay or concrete roof tiles to be slate or shake profile. All roof stacks are to be enclosed and/or finished to compliment roof colour and exterior finish detail. All flashing must be pre-finished and match the roof colour.

Clay Roof Colours as follows:

Unicrete or Equal

London Grey	Slate Green	Chestnut	Midnight Black
Turtle Mountain	Rawhide	Elbow Valley	Grey Black

Asphalt Colours as follows:

IKO – Renaissance (with Ridge Glass Caps)

Taupe Slate	Weathered Slate	Harvest Slate	Black Slate	Grey Slate
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IKO – Chateau (with Ridge Glass Caps)

Driftwood	Dual Brown	Dual Black	Weatheredwood
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IKO – Cambridge (with Ridge Glass Caps)

Driftwood Ultra	Dual Black Ultra	Harvard Slate	Weatheredwood Ultra
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IKO – Dynasty (with Ridge glass caps)

Antique Black	Old World Slate	Cornerstone
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GAF – Timberline (with Timbertex Ridge Caps)

Charcoal Blend	Mission Brown	Weathered Wood	Pewter/Slate	Heather Blend
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ELK – Prestige I (with Z Ridge Premium Hip and Ridge Shingles)

Sablewood	Dual Brown	Dual Black	Antique Slate	Weathered Wood
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## Appendix B

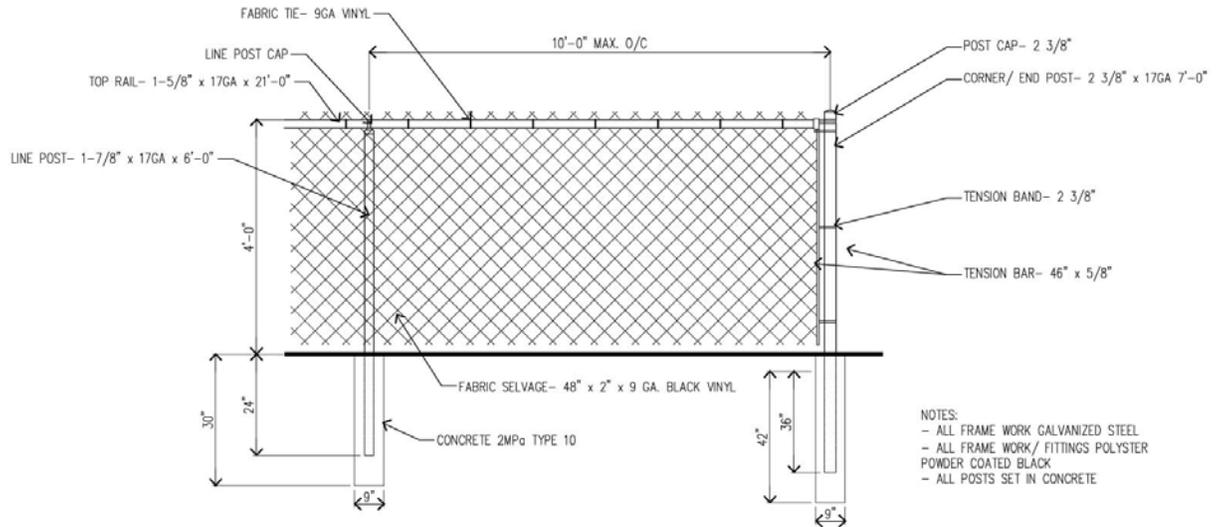
# FENCING SPECIFICATIONS

# THE LAKE AT HERITAGE POINTE

## FENCING SPECIFICATIONS

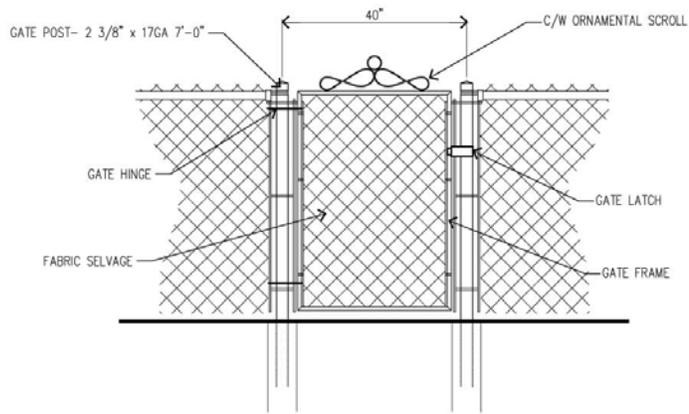
Refer to Section 6.2 Fencing Guidelines which deals with the placement of fencing.

Fencing will be **4 ft. Polyester Powder Coated Black Chain Link**.



4' CHAIN LINK FENCING DETAIL  
N.T.S.

STYLE: TOP RAIL (CL-01)



4' CHAIN LINK GATE DETAIL  
N.T.S.

(CL-15)

Contact the Developer for information.



## Appendix C

# HOMEOWNER LANDSCAPE PLAN APPROVAL PROCESS

Issued: April 2005

In accordance with the Lake at Heritage Pointe Architectural Guidelines, new homeowners are required to submit 3 copies of a proposed landscape plan (with contact information) to the administration office of Heritage Pointe Lake Developments, located in the Heritage Pointe Golf Clubhouse, #1 – Heritage Pointe Drive, RR1 DeWinton, Alberta TOL OXO.

Please note the following points which must be included in your landscape plan:

- Your plan must be drawn to a metric scale of 1:200, using a copy of your real property survey report or a plot plan. Property lines, boulevard/curb area, underground utility locations, easements and outlines of existing and adjacent buildings should be indicated on your plan.
- Identify the location and sizes of proposed trees. The landscape guidelines recommend a minimum of two (2) trees in the front yard and two (2) trees in the rear yard. Boulevard area trees planted by the developer are not considered part of this requirement.
- Indicate the outline of planting beds, ground cover, edging material, grassed areas and fencing/gate locations.
- Include all accessory structural details indicating site location, material proposed and overall height (ex. dog run, retaining wall, pergola, swimming pool, arbor, privacy screens, fire pit, etc);

Please note, depending on the Subdivision Phase your home has been built in, some additional or alternative landscape requirements may apply. It is recommended the Phase specific guidelines be reviewed during the landscape planning stage to determine for example: transition into natural areas, shoreline setbacks, view lines, irrigation, etc.

Upon submission of the landscape plan, the drawing will be reviewed by Mary Boyes, Landscape Consultant for the developer. If the plan does not meet the guidelines or more detail is required, the homeowner will be required to submit additional information. If the plan does meet the guidelines, the plan will be approved and returned by mail.

A landscape completion inspection will be conducted towards the end of the landscaping season. If the landscaping requirements have not been met, a letter will be issued requesting the deficiencies be completed.

Please see the reverse of this page for an example of a real property report.

### **Credentials**

Mary Boyes has worked with the City of Calgary Planning and Building Department, holds a B.A. (Hons) degree in Landscape Design from Manchester Metropolitan University in the U.K. and has worked in landscape architecture offices in both England and Calgary.

Mary has been the prime landscape consultant for the Lake at Heritage Pointe development. She has been retained to oversee the homeowner landscape plan approval process.



Appendix D

APPLICATION FOR  
HOUSE PLAN APPROVAL



## APPLICATION FOR HOUSE PLAN APPROVAL

Phase \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Plan \_\_\_\_\_  
 Civic Address \_\_\_\_\_

### APPLICANT

Builder : \_\_\_\_\_ Telephone: \_\_\_\_\_  
 Address: \_\_\_\_\_ Fax: \_\_\_\_\_  
 \_\_\_\_\_ Contact: \_\_\_\_\_

### HOUSING DESIGN

House Type: \_\_\_\_\_ Model/Job Number: \_\_\_\_\_  
 Ground Floor Area: \_\_\_\_\_ Total Developed Floor Area: \_\_\_\_\_  
 Roof Style: \_\_\_\_\_ Roof Pitch: \_\_\_\_\_

### SETBACKS AND GRADE INFORMATION

Setbacks Front \_\_\_\_\_ Rear \_\_\_\_\_ Left Side \_\_\_\_\_ Right Side \_\_\_\_\_ Height \_\_\_\_\_

<i>Grades</i>	<i>Front</i>	<i>Rear</i>
<i>Left Side</i>	_____	_____
<i>Right Side</i>	_____	_____
<i>Entrance Grades</i>	_____	_____

*Finished Landscaped Grades at House Corners (left and right as viewed from street)*

<i>Actual Top of Footing</i> _____	<i>Lowest Top of Footing</i> _____
<i>Top of Main Floor Joist</i> _____	<i>Front of Garage</i> _____

<i>EXTERIOR FINISHES</i>	<i>MATERIAL</i>	<i>MANUFACTURER</i>	<i>COLOUR</i>
<i>Roof</i>	_____	_____	_____
<i>Walls – General</i>	_____	_____	_____
<i>Walls – Secondary</i>	_____	_____	_____
<i>Brick or Stone</i>	_____	_____	_____
<i>Trim</i>	_____	_____	_____
<i>Fascia</i>	_____	_____	_____
<i>Soffits</i>	_____	_____	_____
<i>Rainware</i>	_____	_____	_____
<i>Entry Doors</i>	_____	_____	_____
<i>Garage Door</i>	_____	_____	_____
<i>Driveway</i>	_____	_____	_____

**SITE PLAN REQUIREMENTS**

A site plan with the following information must be provided. The applicant is responsible to confirm on site that the information submitted and reviewed matches the actual site conditions before starting construction.

- a) Dimensions of lot
- b) Dimensions of building
- c) Dimensions of property lines
- d) Location of Driveway and slope of Driveway
- e) Indicate all easements
- f) Indicate locations of retaining walls
- g) Location of drainage swales and drainage patterns
- h) Location of underground water lines, sanitary and storms lines
- i) Proposed elevations at each corner of the house, garage slab, top of footing and top of joists
- j) Indicate all roads, lanes, sidewalks and gutters adjacent to property, as well as, all hydrants, light poles, power poles, transformers, telephone pedestals etc. on or adjacent to the property

**USE OF HOUSE PLAN APPROVAL SERVICES**

The applicant acknowledges that the house plan approval is provided as a service and that the developer and its approving officers assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from use thereof.

The applicant further acknowledges that he will hold the developer and its approving officers harmless from action resulting from the use of this information.

Date: \_\_\_\_\_ Signature of Applicant: \_\_\_\_\_

**CONDITIONS OF APPROVAL**

*Finished Grade to be in accordance with plot plan. The builder is responsible for proper drainage of lot based on subdivision design.*

*The builder is responsible for any retaining walls that may be required due to grading. Maximum of 400mm parging showing on all elevations, including walkouts.*

Additional Approval Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Grades**

Approved – As Noted: \_\_\_\_\_ Date: \_\_\_\_\_

**Architectural**

Approved – As Noted: \_\_\_\_\_ Date: \_\_\_\_\_

Approved: \_\_\_\_\_ By: \_\_\_\_\_

**DEVELOPER**

Heritage Pointe Lake Dev. Ltd.  
Phone: 254-5253  
Fax: 256-4494

**ENGINEERS**

Bel-MK Engineering Ltd.  
Phone: 269-7440  
Fax: 269-7422

**ARCHITECTS**

IBI Group  
Phone: 270-5600  
Fax: 270-5610

# THE LAKE AT HERITAGE POINTE

## APPLICATION FOR HOUSE APPROVAL

The following is required by IBI Group Ltd. for the completion of the house approval and issuance of the grade slip.

1. The Applicant/Builder submits the following:
  - a) two complete set of house plans (elevation and section to be accurate)
  - b) two completed house plan approval form
  - c) all four elevations on separate sheets maximum paper size 11" x 17" with the preference of 8 1/2"x 14" or 8 1/2"x 11"
  - d) colour samples for stucco/side and trim stone sample not necessary.
2. Plot plans are to be drawn at 1:200 scale metric and are to include the following information:
  - a) all corner and quarter point lot grades
  - b) proposed landscape grades at all corners of the house and garage as well as the sides
  - c) proposed actual top of footing (ATF) and subfloor elevation(s)
  - d) drainage patterns of the lot
  - e) entrance locations of the home
  - f) driveway or parking location
  - g) R.O.W.'s and easements located and labeled
  - h) location of all surface appurtenances that exist or are planned, i.e. lamp standard, bus stops, and electrical pedestals.
3. Building grade plans, legal plans, R.O.W. plans, and sidewalk plans can be obtained from the Developer at the time of lot purchase. These plans should be able to assist the Builder, Designer and Home Owner in designing a pleasing home that is compatible with the adjacent existing or proposed environment.
4. Incomplete submissions will not be reviewed or approved until they have been completed. Faxed house plans or plot plans are not acceptable.

Incomplete submissions refer to such things as missing plot plans, missing colors, missing blueprints of what is actually being proposed for construction etc.

Front, rear or side elevations needing extensive revisions to meet the guidelines for the area approval process will be returned to the builder and/or designer for such revisions.
5. The Applicant/Builder is responsible for reviewing the returned approval before applying for a Building permit and constructing the home. IBI Group Ltd. is to be notified of any discrepancies in the approval.
6. After the approval of the house, colors, siting, etc., any revisions will be subject to a fee chargeable to the Applicant/Builder. This fee is to be prepaid before the written request is considered. All requests for changes must be submitted in writing.
7. Colors may be reserved, in writing, up to two weeks prior to submitting for approval. Builder is advised to contact IBI Group Ltd. to determine availability of proposed exterior finish before confirming colors etc. with purchaser. Please ensure that the colors being held are actually the colors that will be requested at the time of submission.



## Appendix E

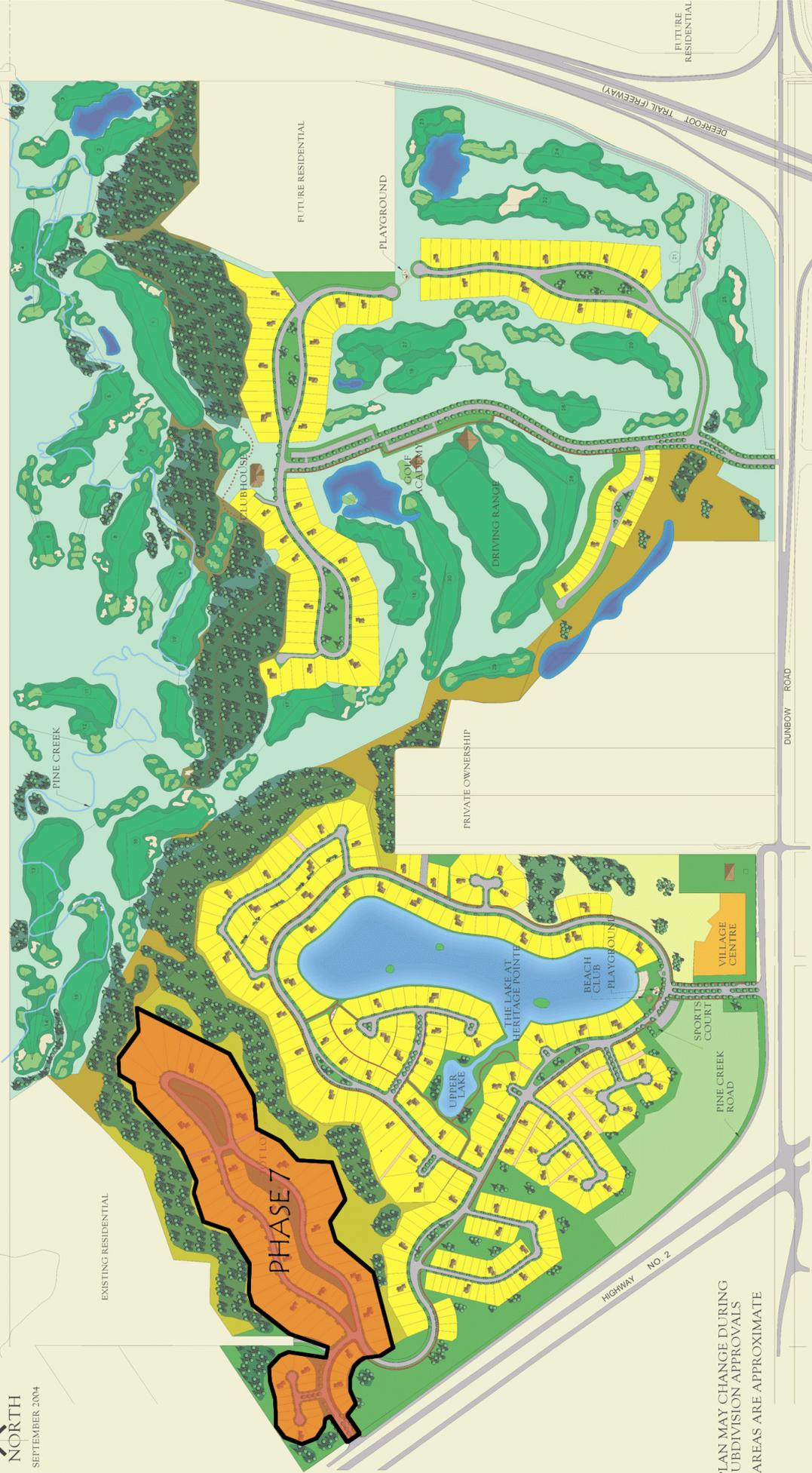
# REAR ELEVATION CHECKLIST

<b>ELEVATIONS</b>	<b>MANDATORY</b>	<b>OPTIONAL</b>
<b>EXPOSED</b>	<ul style="list-style-type: none"> <li>-Trim and design to match overall style of home</li> <li>-Interesting roof lines</li> <li>-Window and door alignment</li> <li>-Built out deck columns</li> <li>-Glass railing</li> <li>-Stone / brick deck columns</li> </ul>	<ul style="list-style-type: none"> <li>-Add stone / brick elements to match front of home*</li> <li>-Full span or wrap around deck*</li> <li>-Dormers (gable, cottage, eyebrow roof lines)*</li> </ul>
<b>INNER ISLE LOTS (BLOCK 25)</b>	<ul style="list-style-type: none"> <li>-Trim and design to match overall style of home</li> <li>-Interesting roof lines</li> <li>-Window and door alignment</li> <li>-Stone / brick deck columns</li> <li>-Glass/wrought iron railing</li> <li>-Additional stone / brick detailing</li> </ul>	<ul style="list-style-type: none"> <li>-Covered deck*</li> <li>-Additional detailing to match front of home*</li> <li>-Dormers (gable, cottage, eyebrow roof lines)*</li> </ul>



Appendix F

## MARKETING MAPS



PLAN MAY CHANGE DURING  
SUBDIVISION APPROVALS  
\* AREAS ARE APPROXIMATE



The Community of  
HERITAGE POINTE



## Appendix G

# PRE-DESIGNED STREETScape



Tudor

English Country

Georgian Colonial

Craftsman

French Country

*The*  
*Lake at*  
**HERITAGE**  
**POINTE**



*Georgian Colonial*



*The  
Lake at*  
**HERITAGE  
POINTE**



*French Country*



*The  
Lake at*  
**HERITAGE  
POINTE**



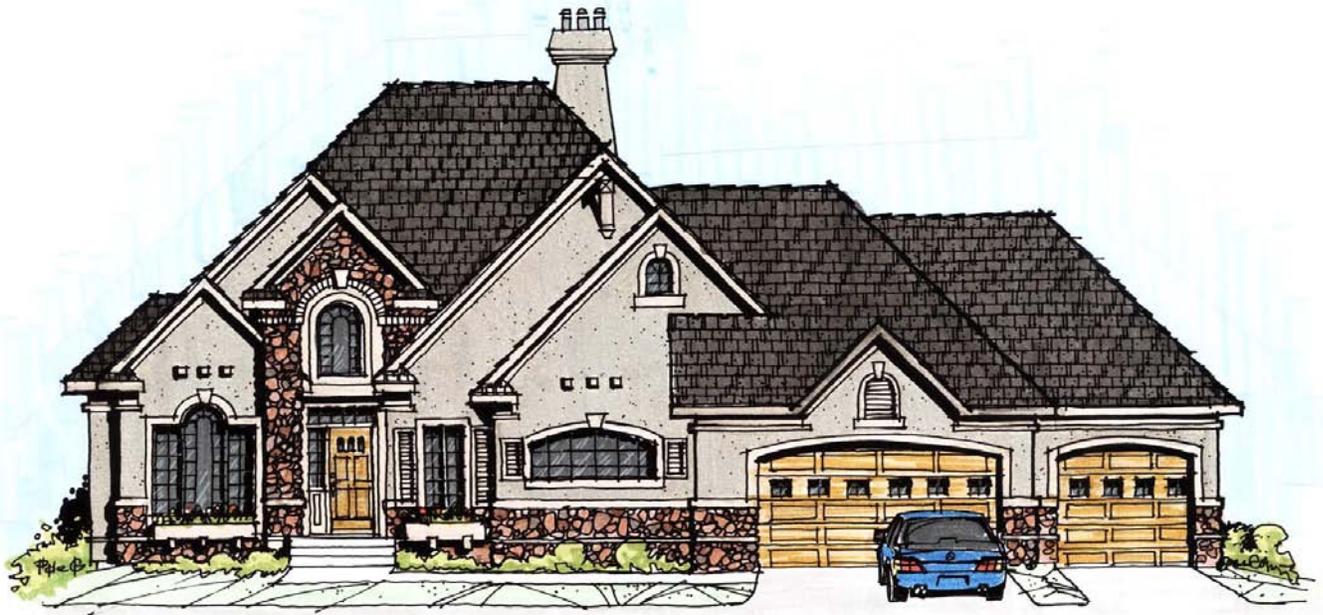
*Craftsman*

**IBI**  
GROUP

The  
Lake at  
HERITAGE  
POINTE



*The Lake at*  
**HERITAGE  
POINTE**



*English Country*

